BUILDING PERMIT APPLICATION
DECK/PORCH

Date_____

Permit_____

JOB ADDRESS:

APPLICANT IS: ☐ Owner ☐ Contractor/Other (describe)

LEGAL DESCRIPTION
Subdivision Lot Block PID#

PROPERTY OWNER NAME **ADDRESS** **PHONE #**

CONTRACTOR/RESPONSIBLE PARTY **LICENSE #**

CONTRACTOR ADDRESS **PHONE #**

ARCHITECT/ENGINEER *(for Commercial Work)*
Name Address Phone #

CLASS OF WORK: ☐ New ☐ Addition ☐ Remodel ☐ Demo

DESCRIBE WORK:

VALUATION OF WORK: $

- *Separate permits are required for electrical, plumbing, heating, ventilating or air conditioning.*
- *This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced.*
- *I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.*

Signature of Contractor/Responsible Party **Print Name** **Date**

Signature of Property Owner **Print Name** **Date**

Building Department • Phone 763.635.1060 • FAX 763.635.1090

ENGINEER FEE

PERMIT

STATE SURCHARGE

SEWER

ATTORNEY FEE

LICENSE CHECK

PLAN CHECK

TOTAL

RECEIVED BY

APPROVED FOR ISSUANCE BY

CONSTRUCTION TYPE

OCCUPANCY GROUP

DIVISION

TOTAL SQ FT OF BLDG

 # OF STORIES

MAX OCCUPANT LOAD

USE ZONE

FIRE SPRINKLERS
☐ YES
☐ NO

PROPERTY INFORMATION SHEET

For Residential Accessory Structures, Building Additions, Decks/Porches and Pools

This Property Information sheet is used so you, as the applicant, are aware of the requirements for the property being reviewed and to more efficiently review your application. This sheet shall be completed and submitted in conjunction with all other requirements for a building permit. If it is not, the review will be place on hold.
Please contact the Planning Department (763.635.1000) to obtain any of this information.

Street Address: _____ **Acreage of Property:** _____

For Sheds, Garages, Building Additions, Decks/Porches and Pools:

Required Setbacks*

Front: _____-feet

Side: _____-feet

Garage Side: _____-feet

Rear: _____-feet

Proposed Setbacks*

Front: _____-feet

Side: _____-feet

Garage Side: _____-feet

Rear: _____-feet

Proposed setbacks cannot be less than the required setbacks

**Setbacks are from property lines, not from street/curb edges*

For Sheds and Garages only:

Total Allowed Square Footage _____
Contact Planning 763.635.1000

Total Proposed Square Footage _____
Cannot be larger than the allowed square footage

Total number of sheds/garages _____
Typically, only two are allowed

If a copy of your survey is not available, please draw the site plan in this location.

Permit #: _____

For Office Use Only

RESIDENTIAL SITE PLAN CHECKLIST

For Accessory Structures, Building Additions, Decks/Porches and Pools

Drawings shall be on an existing survey if available. Contact the Building Department at 763.635.1060 to inquire if your property has a survey on file. If this checklist is not signed/initialed or any of the required information is missing, the permit will be put on hold until the applicant provides all the required information.

Required on the Site Plan:

- ☐ North Arrow
- ☐ Dimensions to proposed project from *all property lines* **(not street/curb edges)***
- ☐ Label all adjacent streets
- ☐ Location of driveway(s)
- ☐ Easements on property **(no structures are allowed in easements)**
- ☐ Square footage of all existing garages/sheds *(if applicable)*
- ☐ Well, septic tank and drain field locations *(if applicable)*
- ☐ All ponds, wetlands, lakes, rivers, creeks, ordinary high water elevations and Wild & Scenic setback requirements *(if applicable)*
- ☐ Location of retaining walls *(if applicable)*

*Typically corners of a property are marked with metal stakes that are approximately 16"-18" below grade. These stakes might be found with a metal detector. If corner stakes cannot be found or location of property lines is unknown, the property owner should contact a land surveyor to properly locate the corner stakes and property lines.

POOLS

_____ Initial if you are installing a pool. Fencing shall be installed prior to filling the pool, as required by the Elk River City Ordinance, Section 30-796. *If this is not initialed, you will be contacted to do so before the permit will be reviewed.*

I understand that providing false information or omitting relevant information in this building permit application may result in denial of the application. I have provided the above information and understand that I am solely responsible for any and all information submitted with this building permit application and declare that all information is correct as shown.

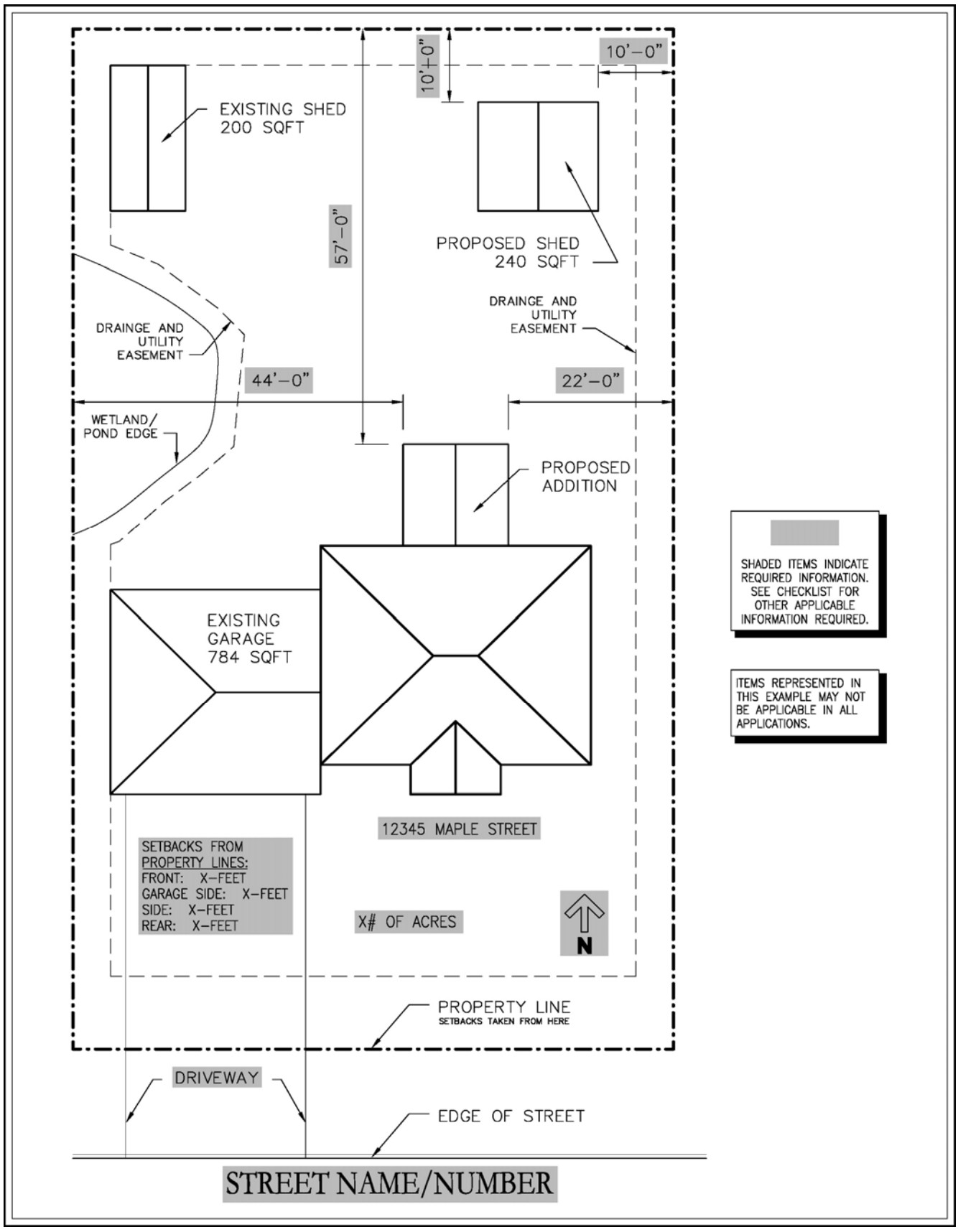
Signature: _____ Date: _____

Daytime Phone #:_____

(to be used to contact applicant if any information is missing)

SAMPLE SITE PLAN

(does not need to be a computer drawing)



SUPPLEMENT TO DECK PERMIT APPLICATION

Plans and all of the information are required with deck permit application

1. Size and depth of footing _____
2. Type of footing forms (i.e sono tubes)_____
3. Size and spacing of posts_____
4. Size of beams _____
5. Size and spacing of joists _____
6. Is the deck off a house cantilever (*Bay Patio Door*)? Yes _____ No _____
7. If yes, how will joists be supported ? _____

   _____
8. Type of decking boards _____
9. Height of deck off ground _____
10. Height and design of guardrail _____
11. Size of deck _____
12. Is deck over an egress window ? Yes___ No___

    If yes, is there at least 4 feet from the ground to the bottom of the deck?

    Yes___ No___

DECK FINAL CHECKLIST

1. Is deck ledger board bolted to house with 7/16" lag bolts and washers in each joist space?
2. Are all joist hangers fully nailed with **GALVANIZED JOIST HANGER** nails in every hole?
3. If deck surface is over 30" above grade, is your guardrail at least 36" high?
4. If deck surface is over 30" above grade, are all openings **LESS** than 4"?
5. Is the top of your stairway handrail between 34" and 3 8" high measured at stair nosing?
6. If your stairway has 4 or more risers, do you have a handrail on at least one side?
7. A minimum 3 ft. x 3 ft. permanent landing is required (such as patio block, concrete or weather resistive wood).
8. Stairway more than 30" above grade requires 36" guardrails on **BOTH** sides, with spacing **LESS** than 4".
9. Stairways must be hung with steel hangers, straps or treated plywood.
10. Are all stair risers the same heights and not more than 7 3/4"?
11. Are all stair tread runs at least 10"?
12. Is the deck ledger board properly flashed where it meets the siding?
13. Are all the nails, screws, fasteners and hardware galvanized?
14. Is all lumber either treated or of a species resistant to decay? (i.e., redwood, cedar, etc.}
15. Are cantilevers a maximum of 24" overhang?
16. Are all joists, beams, posts and footings as per the approved plan?
17. Open stair risers not over 4".

Although this list is not all-inclusive, it does contain the most common reasons for final deck inspection failures. If you check all of these items before you schedule your inspection, you will greatly increase your chances of passing with flying colors.

MINNESOTA DEPARTMENT OF
LABOR & INDUSTRY

Department of Labor and Industry
Construction Codes and Licensing Division
443 Lafayette Road N.
St. Paul, MN 55155
Phone: (651) 284-5012 or 1-800-657-3944
TTY: (651) 297-4198 Fax: (651) 284-5749

The State of Minnesota adopts a set of construction standards known as the Minnesota State Building Codes (MSBC). The MSBC contains safety requirements relating to structure, mechanical, plumbing, energy, electrical, elevators, manufactured buildings and life safety.

The information in this brochure is for general reference for residential construction projects. Contact your municipal building official regarding permits and specific code requirements for residential construction within your community.

To confirm if your contractor is licensed in Minnesota contact the:

Department of Labor and Industry
Residential Building Contractors
Phone: (651) 284-5069 or 1-800-657-3944
www.dli.mn.gov/ccld/LicVerify.asp
E-mail: DLI.Contractor@state.mn.us

www.dli.mn.gov

05-07

Gopher State One Call
Call at least two full business days before you dig.
Phone: 811 or (651) 454-0002
www.call811.com

811

DECKS

Guidelines for planning the construction of a deck.

Permits

Building permits are required for all decks that are attached to the home or are 30 inches or more above grade. Decks and platforms not more than 30 inches above adjacent grade and not attached to a structure with frost footings, do not require a building permit and may require a zoning or land-use permit.

Decks and platforms are required to meet the land-use requirements of the community's zoning code. An important first step is to contact the local planning and zoning department with questions.

A municipality may require permit fees, plan reviews and inspections

Permit fees are established by the municipality. The plan review is done by the building official in order to spot potential problems or pitfalls that may arise. The building official may make notes on the plan for your use. Inspections are performed at various stages of construction to verify code compliance. Actual permit costs can be obtained by calling your local building inspection department with your estimated construction value.

Your building inspector will need:

1. An application for permit.
2. A site plan or survey.
3. A deck plan with all applicable structural details.

Required inspections

1. **Footings:** After the holes are dug, **but prior to pouring of concrete!**
2. **Framing:** To be made after framing is completed. This inspection can be completed at the time of the final inspection if all parts of the framing will be visible and accessible with prior approval of the building official.
3. **Final:** Is done after completion.

Setbacks from property lines vary depending upon the city and zoning district your home is located in. Contact the building department in your community for the requirements in your location. This is an important first step in the planning for any deck project.

Notice regarding pressure-treated wood

When a pressure-preservative-treated wood is used, it must comply with the American Wood Preservers Association UI Standard based on exposure (exterior) and use (above ground or ground contact). The lumber must bear the quality mark (stamp or end tag) of an approved inspection agency. Designers, builders and home owners need to verify that proper hardware (hangers, nails, brackets) are appropriate with the particular treatment of the lumber. This not only applies to decks utilizing these products, but sill plates and posts as well. Additional information is available online at www.dli.mn.gov/ccld/OpinionDivisionBuilding.asp.

General building code requirements

The 2007 Minnesota State Building Code adopts the 2006 International Residential Code (2006 IRC). All "R" code references provided in this brochure pertain to the 2006 IRC.

a. Footings must extend to frost depth (if attached to the house).

b. Decks need to be designed for a 40-pound-per-square-foot live load and balconies to a 60-pound-per-square-foot live load. Decks exposed to the weather must be constructed of approved wood with natural resistance to decay such as redwood, cedar or treated wood. Ledger boards must be bolted or lagged to the building and all connections between the deck and dwelling must be flashed. Before using alternative building products, check with your local building official.

Construction Codes and Licensing

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c. Columns and posts in contact with the ground or embedded in concrete, earth or masonry must be of pressure-treated wood approved for ground contact.

d. Cedar or redwood posts need an 8-inch separation from the ground.

e. All decks, balconies or porches, open sides of landings and stairs that are more than 30 inches above grade or a floor below must be protected by a guard not less than 36 inches in height. Grade is measured at edge of structure. 2006 IRC guard opening limitations states required guard on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which do not allow passage of a sphere 4 inches (102mm) or more in diameter. Exceptions: 1. The triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway are permitted to be of such a size that a sphere 6 inches (152 mm) cannot pass through. 2. Openings for required guards on the sides of stair treads shall not allow a sphere 4 3/8 inches (107 mm) to pass through (R312.2).

f. If a stairway is to be provided, it must be no less than 36 inches in width. Stairways may be constructed having an 7 3/4-inch-maximum rise (height) and a 10-inch-minimum run (length). The largest tread rise and tread run may not exceed the smallest corresponding tread rise or run by more than 3/8 inch. Stairway illumination is required by the code. Open risers are permitted, provided the opening between the treads does not permit the passage of a 4-inch-diameter sphere.

g. Handrails are required on all stairways having four or more risers. All required handrails shall be of the following types or provide equivalent graspability.

1. Type I. Handrails with a circular cross section shall have an outside diameter of at least 1 1/4 inches (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular it shall have a perimeter dimension of at least 4 inches (102 mm) and not greater than 6 1/4 inches (160 mm) with a maximum cross section of dimension of 2 1/4 inches (57 mm).
2. Type II. Handrails with a perimeter greater than 6 1/4 inches (160 mm) shall provide a graspable finger recess area on both sides of the profile. The finger recess shall begin within a distance of 3/4 inch (19 mm) measured vertically from the tallest portion of the profile and achieve a depth of at least 5/16 inch (8 mm) within 7/8 inch (22 mm) below the widest portion of the profile. This required depth shall continue for at least 3/8 inch (10 mm) to a level that is not less than 1 3/4 inches (45 mm) below the tallest portion of the profile. The minimum width of the handrail above the recess shall be 1 1/4 inches (32 mm) to a maximum of 2 3/4 inches (70 mm). Edges shall have a minimum radius of 0.01 inch (0.25 mm). (R311.5.6.3).

The top of handrail must be not less than 34 inches nor more than 38 inches above the nosing (front edge) of treads and they must be returned to a wall or post.

h. The electrical code requires overhead power lines to be located a minimum of 10 feet above decks and platforms. Existing lines may need to be raised if a new deck is to be installed beneath them.

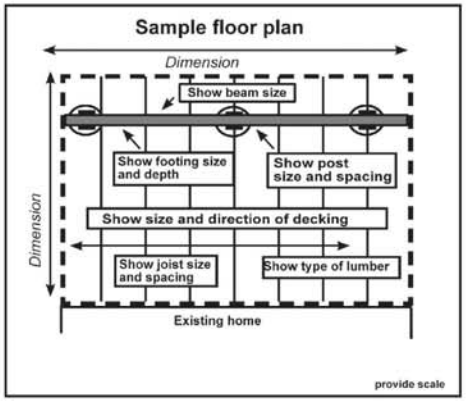
i. When locating a deck, care must be given to the location of outside gas and electric meters, wells and septic systems. These may need to be relocated to allow for construction of the deck. Septic systems and wells may be difficult to relocate, requiring an alternative location for the deck. Contact your local building department prior to placement of any deck that will interfere with these devices.

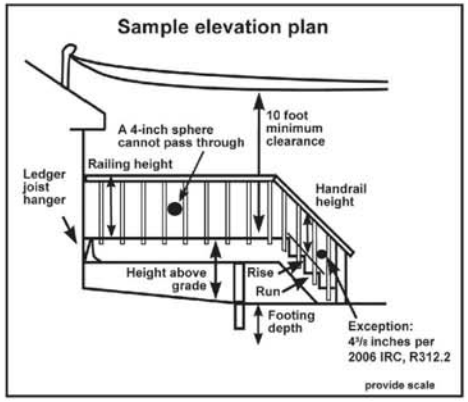
j. Some communities use a remote outside water-meter-reading device that may need to be relocated to allow for construction of a deck. These devices must be relocated properly and may require special tools. Prior to placement of any deck that will interfere with the operation or accessibility of the reader, contact your local building department or water department to obtain information and procedures about relocating these devices. Note: For specific code requirements, please contact your local building department.

Plans: Site, floor and elevation

The text and sample drawings below show the minimum detail expected to ensure the permit process proceeds smoothly. **Two sets of each site, floor and elevation plan are required.** Plans do not need to be professionally drawn. Plans should include all of the information requested and drawn to scale.

A certificate of survey or site plan should be drawn to scale that indicates the lot dimensions, the location and size of the existing structure(s) and the location and a size of the proposed structure. Indicate the setbacks from property lines of the existing and proposed structure(s). Include the septic system area and wells, if applicable.





Floor plan

1. Proposed deck size.
2. Size and spacing of floor joists.
3. Size and type of decking material.
4. Size, type, location and spacing of posts.
5. Size and type of beams.

Elevation plan

1. Height of structure from grade.
2. Size and depth of footings.
3. Guard height and spacing (if any).
4. Stairway rise or run and handrail height (if any).
5. Clearance of overhead wires (if applicable).